



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
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www.portlandoregon.gov/bds

Date: September 16, 2019
To: Interested Person
From: Hillary Adam, Land Use Services
503-823-3581 / Hillary.Adam@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 19-205259 HR – GARAGE REHABILITATION

GENERAL INFORMATION

Applicant: Colin Jensen | Thesis Studio
1620 SE Hawthorne Blvd | Portland, OR 97214
503-701-7027 | colin@thesisstudio.com

Owner: Christine Fox & Dalton Fox
1951 SE Larch Ave | Portland, OR 97214-4738

Site Address: 1951 SE LARCH AVE

Legal Description: BLOCK 11 S 29' OF LOT 18 N 29' OF LOT 19, LADDS ADD
Tax Account No.: R463302430
State ID No.: 1S1E02CA 07300
Quarter Section: 3231

Neighborhood: Hosford-Abernethy, contact chair@handpdx.org.
Business District: None
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: None
Other Designations: Contributing resource in the Ladd's Addition Historic District
Zoning: R5 – Residential 5,000 with Historic Resource Protection overlay zone

Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Historic Landmarks Commission.

PROPOSAL:

The applicant proposes to rehabilitate the existing contributing garage which is in disrepair. Proposed work includes:

- replacement of existing lap siding, as needed;

- replacement of wood corner boards and trim;
- replacement of original wood carriage doors with custom doors to match existing;
- replacement of one window on the east elevation, facing the interior lot, with a new wood door; and
- installation of two lights above the garage doors and one light adjacent to the new door.

RELEVANT APPROVAL CRITERIA:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Ladd's Addition Conservation District Guidelines

ANALYSIS

Site and Vicinity: The subject property is a 1½-story Craftsman Bungalow oriented east on SE Larch Avenue in the Ladd's Addition Historic District. The house was built in 1920 and features wood shingle siding, a shed-roofed full-width front porch, and a gabled roof with projecting eaves and exposed rafter tails. The contributing two-care garage was built in 1915 at the rear of the lot, set slightly off the alley, and features a flat roof, beveled siding, and paneled and glazed swinging doors.

Ladd's Addition is Portland's oldest planned residential community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed August 21, 2019. The following Bureaus have responded with no issues or concerns:

- Life Safety Division of BDS
- Fire Bureau
- Site Development Section of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 21, 2019. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore, Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation

1. Façades Oriented to a Street. In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Findings: The proposal is for rehabilitation of the historic garage at the rear of the property, facing the alley, which is not a street. The alterations to the east façade of the garage will include replacement of one window with a new door, however, this door is in an area of the façade hidden by the house from the street. *This guideline is met.*

2. Foundations. Changes to the foundation should match or be compatible with the original foundation in height and materials.

Findings: No changes to the foundation are proposed. *This guideline is not applicable.*

3. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The proposal intends to reuse existing siding that can be salvaged and, where it cannot be salvaged, it will be replaced with new siding to match the existing which is wood bevel siding with a 2.25" reveal. Missing cornerboards and trim will be replaced with new wood cornerboards and trim. *This guideline is met.*

4. Roof Form. Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building.

Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Findings: No changes to the roof are proposed. If any repairs are deemed necessary, they will be undertaken in a manner that meets the definition of repair and are therefore, exempt. *This guideline is met.*

5. Front Façade Detailing. Original entrances to buildings, front porches and projecting features, such as balconies, bays, and dormer windows should be retained or restored.

Findings: The proposal is for rehabilitation to the rear garage. *This guideline is not applicable.*

6. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Findings: One original wood window and its associated trim will be retained and restored. One other window will be replaced with a new wood door with wood trim surround. The new wood door features simulated divided lites to match the character of the original window. New swinging garage doors will be custom-designed and constructed in wood with authentic divided lites to match the original wood carriage doors which are extant but in a severely deteriorated condition. *This guideline is met.*

7. Awnings. On commercial structures, retractable fabric awnings, which are architecturally compatible with the historic integrity of the structure are encouraged. Awnings should fit within window bays. Existing traditional awnings should be rehabilitated.

Findings: The subject property is not a commercial structure. *This guideline is not applicable.*

8. Color. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings: The restored siding, window, door, garage doors, and trim will all be painted to protect the wood construction. The applicant has indicated that the colors will either match the original color if it can be determined or will match the existing color of the house. *This guideline is met.*

9. Signs. Whenever possible retention or restoration of original pre-1940 signs is encouraged. For commercial buildings, wall signs, window signs, canopy, and projecting signs attached to the building are encouraged; freestanding signs are discouraged. Sign materials and design and letters appropriate to pre-1940 buildings, such as painted wood and neon are encouraged. Plastic sign faces are discouraged. Signs should not be the dominant feature of a building or site.

Findings: No signage is proposed. *This guideline is not applicable.*

10. Front Lawn. On sites of non-commercial structures, retention of front lawns, mature trees, and older shrubs and perennials are encouraged. Plants popular in the 1910's and 1920's are encouraged. The predominant use of ground covers, such as bark mulch and broadleaf evergreens, is discouraged. Original grades should be retained; berms and excavations are discouraged.

Findings: No alterations are proposed to the front lawn. *This guideline is not applicable.*

11. Fences and Retaining Walls. Front and side yards, which abut a street should be visually open to the street. Hedges, retaining walls and fences, which visually obscure front yards are discouraged. Fences should be kept behind building lines, as viewed from the street.

Findings: No fences are proposed. *This guideline is not applicable.*

12. Parking. Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more cars, should be screened from adjacent properties; hedges and canopy trees are recommended for screening. Parking areas and driveways should not be placed in the front yard.

Findings: The proposal to rehabilitate the garage, which is located at the rear of the property along the alley, as well as construction of a new concrete apron will allow the garage to once again be used for parking. Parking for up to two cars will be possible upon rehabilitation. *This guideline is met.*

13. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: The proposal includes installation of two new light fixtures on the alley side, one above each garage entry, and one new light fixture adjacent to the new door, which may help deter crime. *This guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposal is for a respectful rehabilitation of this historic two-car garage utilizing existing original materials where feasible and quality matching materials where needed. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION


Approval of rehabilitation of an existing contributing garage in the Ladd's Addition Historic District. Proposed work includes:

- replacement of existing lap siding, as needed;
- replacement of wood corner boards and trim;
- replacement of original wood carriage doors with custom doors to match existing;
- replacement of one window on the east elevation, facing the interior lot, with a new wood door; and
- installation of two lights above the garage doors and one light adjacent to the new door.

This approval is per the approved site plans, Exhibits C-1 through C-9, signed and dated September 12, 2019, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 19-205259 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Hillary Adam

Decision rendered by:  **on September 12, 2019**
By authority of the Director of the Bureau of Development Services

Decision mailed: September 16, 2019

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on August 7, 2019 and was determined to be complete on August 19, 2019.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on August 7, 2019.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: December 17, 2019.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the

use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Historic Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on September 30, 2019** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Historic Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Historic Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **October 1, 2019** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;

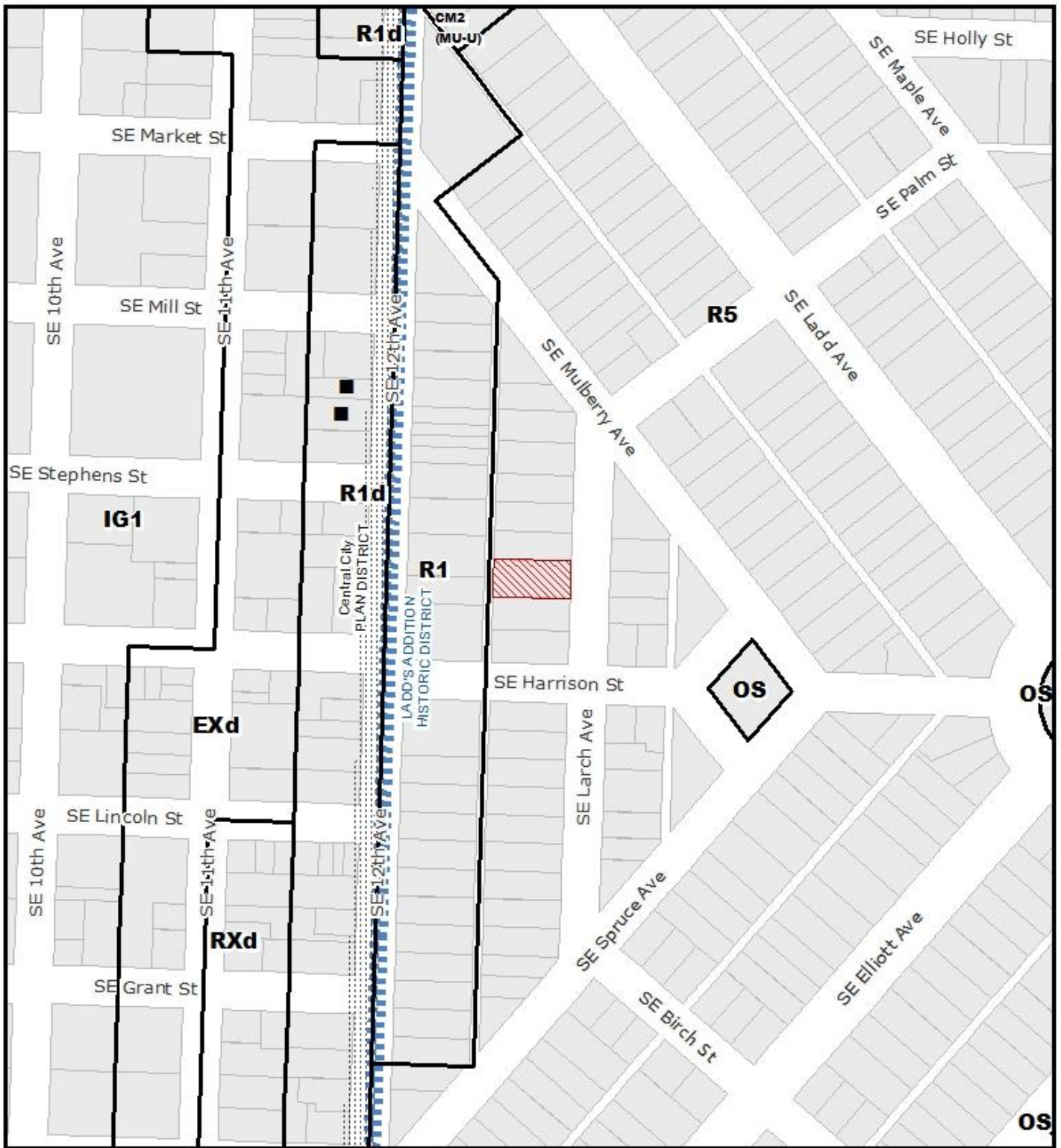
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative and Drawings
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Existing Elevations
 - 3. Proposed Elevations (attached)
 - 4. Window and Door Section Details
 - 5. Light Fixtures Cutsheet
 - 6. Carriage Door Section Details
 - 7. Swinging Door Details
 - 8. Door Hardware Details
 - 9. Swinging Door Cutsheet
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety Division of BDS
- F. Correspondence: none
- G. Other:
 - 1. Original LU Application
 - 2. National Register information sheet

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT



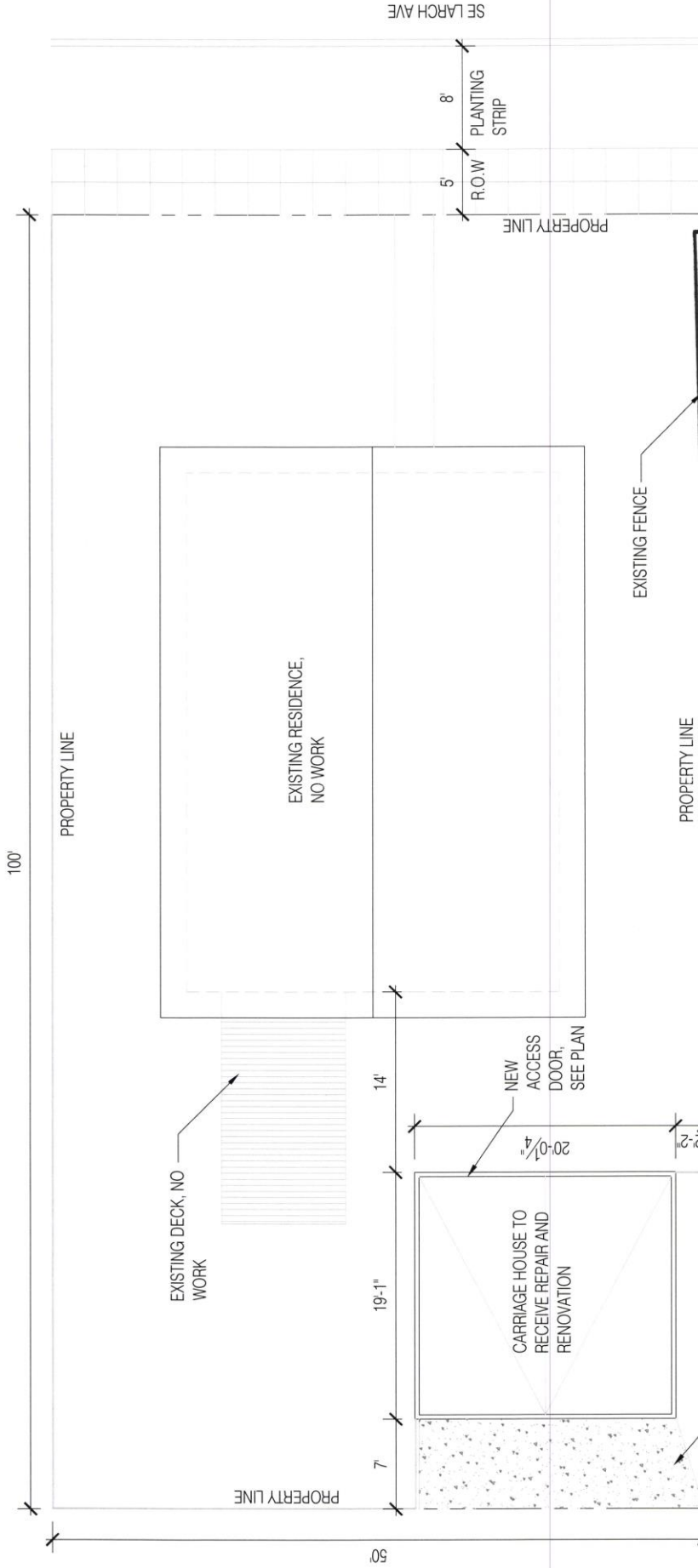
Site



Historic Landmark

File No.	LU 19-205259 HR
1/4 Section	3231
Scale	1 inch = 200 feet
State ID	1S1E02CA 7300
Exhibit	B Aug 08, 2019

1951 SE LARCH AVE
LAND USE REVIEW
TYPE IX HISTORIC



Approved
City of Portland
Bureau of Development Services
Platiner *[Signature]*
Date *1/27/19*
* This approval applies only to the reviews requested and is subject to all rules of approval.

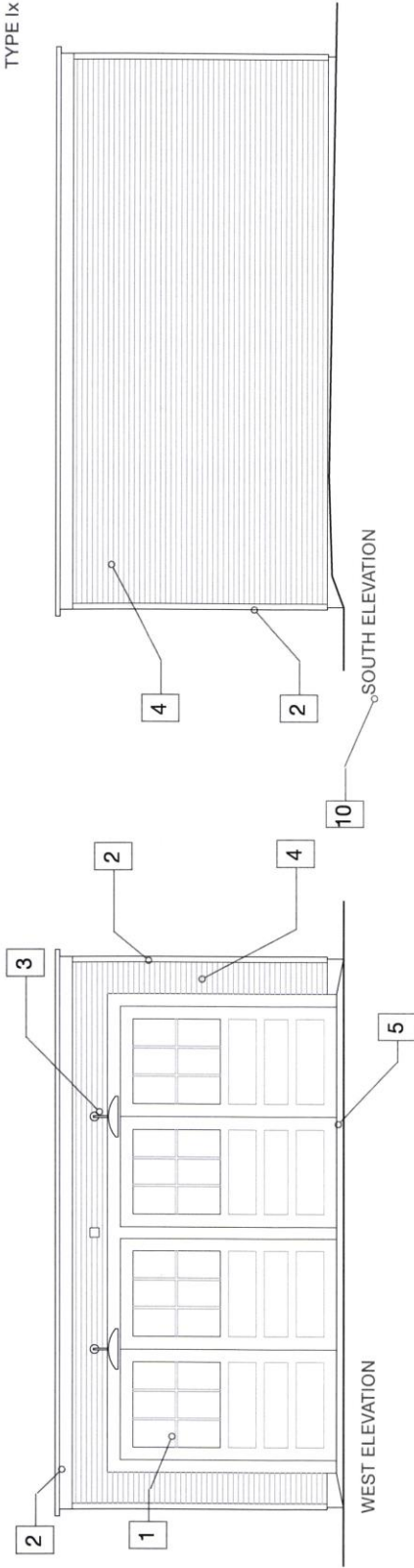


**FOX RESIDENCE
SITE PLAN**
SCALE 1/8" = 1' @ 11x17

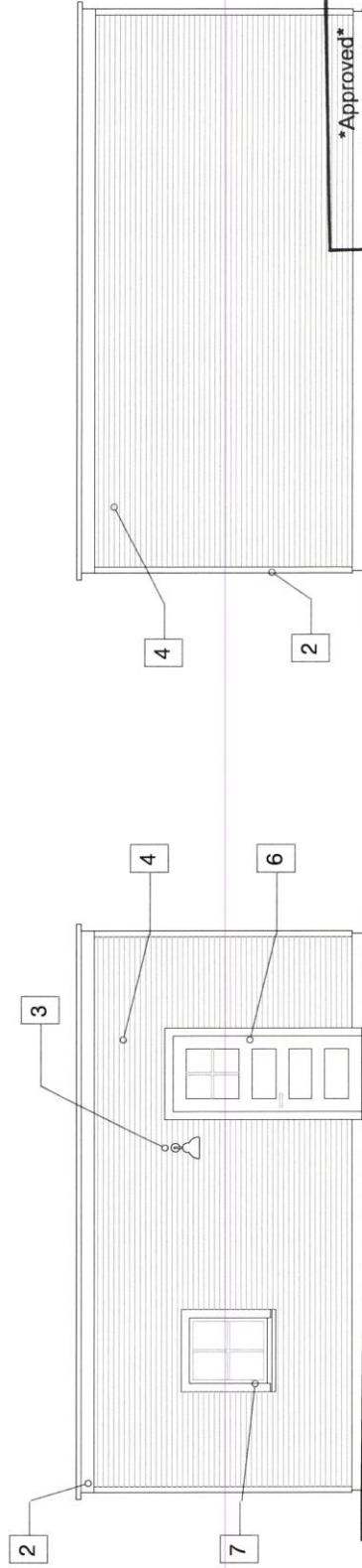
19-205259 HR

C-1

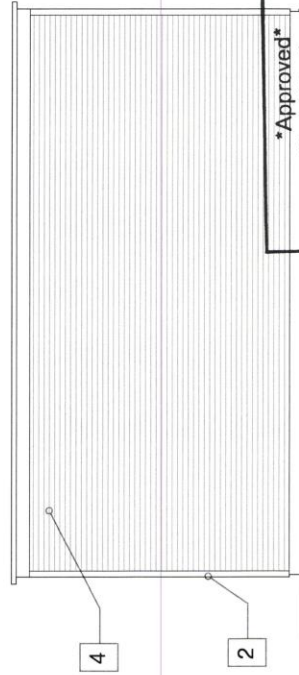
1951 SE LARCH AVE
 LAND USE REVIEW
 TYPE IX HISTORIC



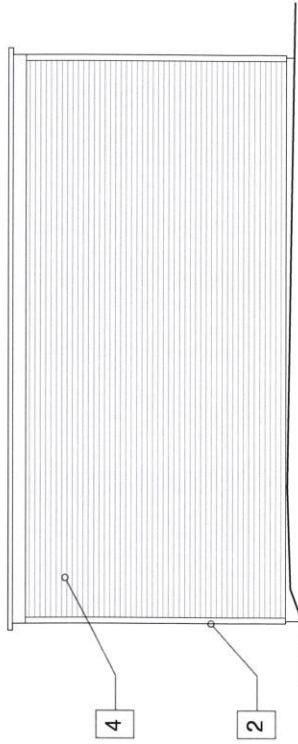
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

KEY NOTES

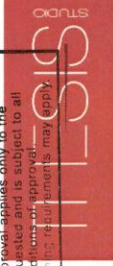
1. Refurbished and rebuilt custom carriage doors by contractor.
2. New painted cedar corner boards and crown trim.
3. New decorative sconce lighting see specs.
4. New, repainted and repaired 2.25" reveal siding typ.
5. New concrete driveway apron connection to alley.
6. New Marvin Patio door in former window location see spec.
7. Existing window with repaired trim and sill.

FOX CARRIAGE HOUSE
 PROPOSED ELEVATIONS

SCALE 1/4" = 1' @ 11x17

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 9/12/19

* This approval applies only to the reviews requested and is subject to all conditions of approval. No other rules or codes may apply.



03

ku 19-205259 HR